

146 SALISBURY HIGHWAY

STATESVILLE, NC 28677

±39 ACRES

Available for Purchase or BTS



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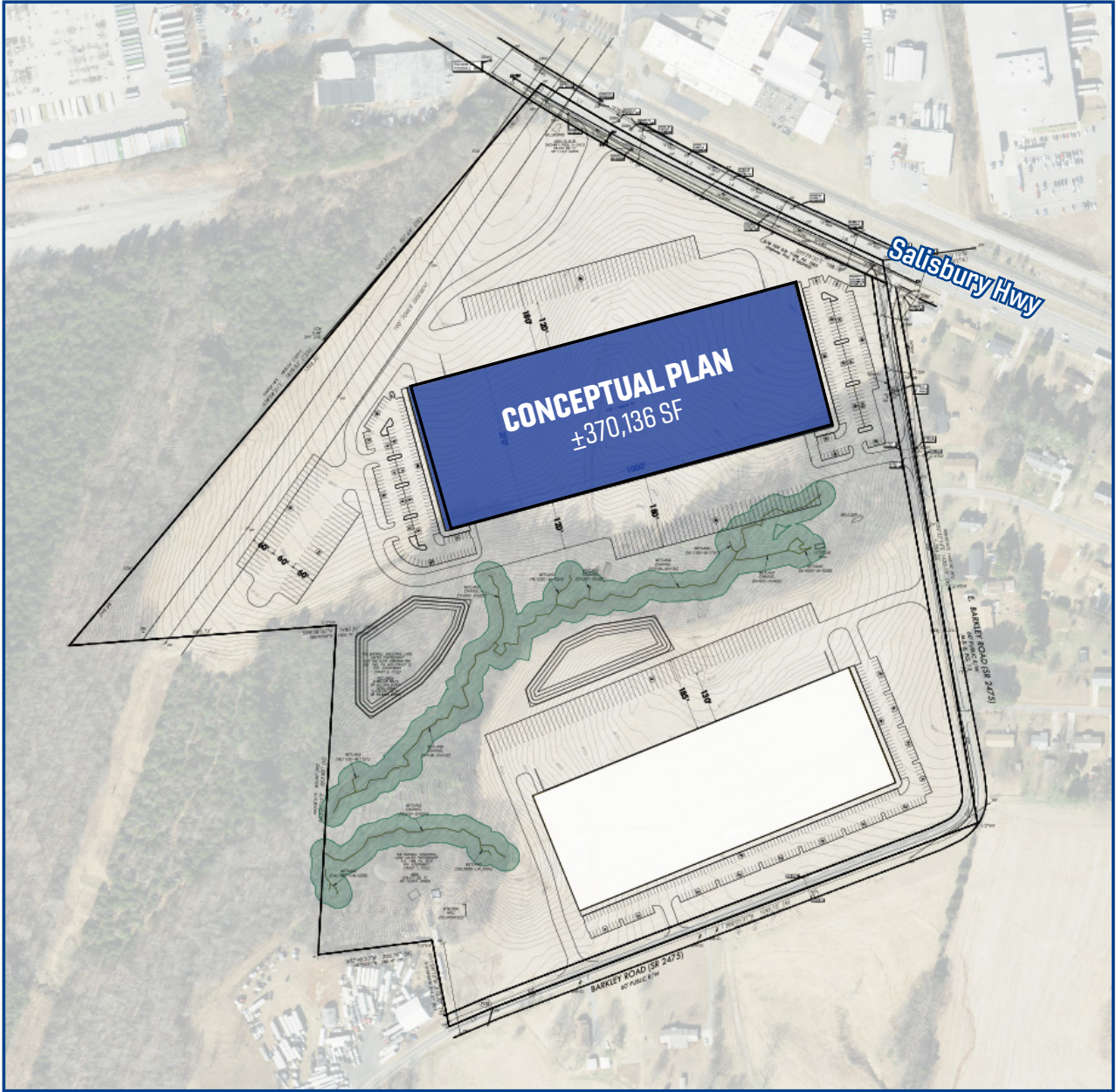
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Property Overview

LAND SALE OR BUILD-TO-SUIT OPPORTUNITY AVAILABLE

Located within the Iredell County submarket, this ±39-acre site is available for purchase or as a build-to-suit opportunity. The property is fully entitled with a heavy industrial zoning designation and is strategically positioned one mile from Interstate 77 along US Highway 70, a four-lane connector to Interstate 85 in Salisbury. The site can accommodate a building of up to approximately 370,000 square feet.

- + Business Friendly City/County
- + Ample Utility Infrastructure Capacity
- + All Due Diligence Completed



PROPOSED BUILDING SPECS

BUILDING DIMENSIONS	370' x 1000'
ZONING	HI (Heavy Industrial)
ELECTRIC PROVIDER	City of Statesville
NATURAL GAS	Enbridge
WATER PROVIDER	City of Statesville
WASTEWATER PROVIDER	City of Statesville
TRAILER PARKING	145
AUTO PARKING	328
TRUCK COURT	135'
SPEED BAY	60'
POTENTIAL SF	± 370,136 SF
SPEC OFFICE	To Suit
CLEAR HEIGHT	36'
DOCK HIGH DOORS	(64) 9' x 10'
DRIVE IN DOORS	(4) 14' x 16'
SPRINKLER	ESFR
LIGHTING	LED

ECONOMIC OPPORTUNITY

#1

**BEST STATE TO
START A BUSINESS**
(B2B Reviews, 2025)

#4

**FASTEST GROWING
COUNTY**
(Charlotte Business Journal, 2026)

#1

**STATE FOR MANUFACTURING
COMPETITIVENESS**
(Site Selection Group, 2024)

#2

**PROSPERITY CUP
WINNER**
(Site Selection Magazine, 2026)

#1

**LOWEST CORPORATE
INCOME TAX RATE**
(Tax Foundation, 2026)

#1

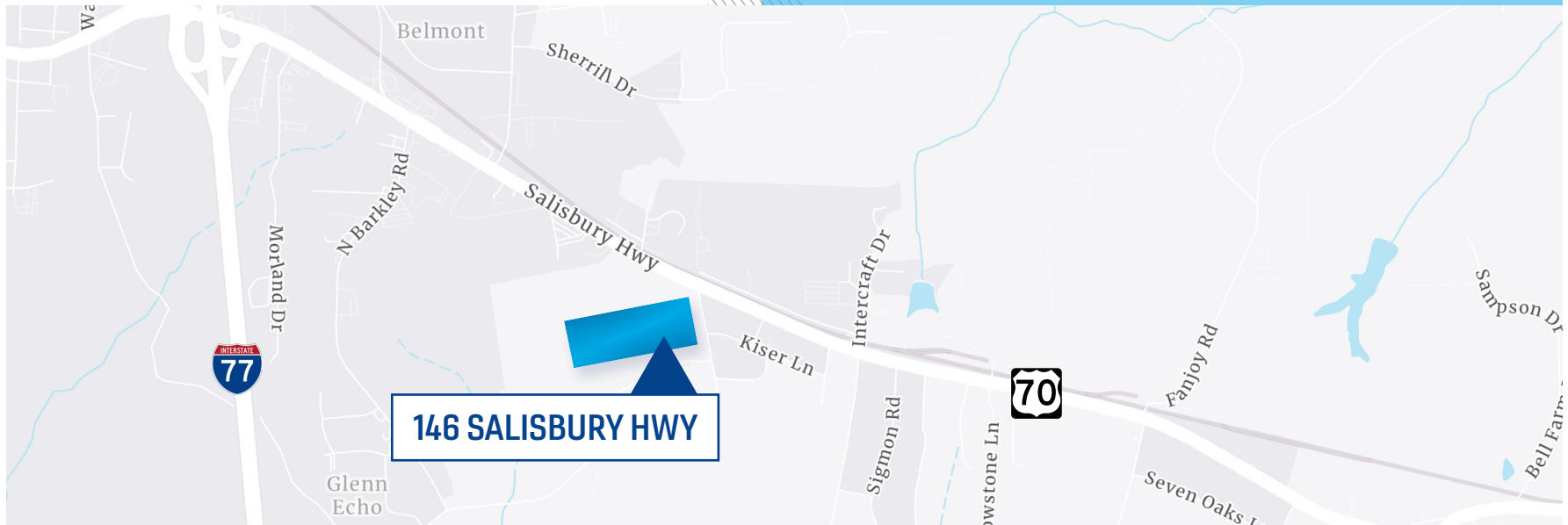
**BEST BUSINESS
CLIMATE**
(CNBC, 2025)

North Carolina is widely recognized as a top-tier location for business, offering a highly favorable tax environment—including one of the lowest corporate income tax rates in the country. The state also provides targeted tax advantages for industries such as advanced manufacturing, logistics, and data centers.

Businesses considering a move or expansion can work with the Economic Development Partnership of North Carolina (EDPNC) to identify and secure available incentives. Key programs include:

- Job Development Investment Grants (JDIG)
- One North Carolina Fund
- Infrastructure and transportation support
- Workforce training and customized education programs

In addition, a variety of complementary funding sources—such as Golden LEAF Foundation grants and Rail Industrial Access initiatives—help offset development costs and support long-term success.



Location Overview



1 Mile



4 Miles



25 Miles



31 Miles

Connectivity



AIR

CLT Douglas International Airport

- The 6th busiest airport in the world by total passenger volume
- 36 non-stop international flights a day
- 188 non-stop destinations
- 2-hour plane ride reaches 60% of US population
- 1,300+ daily aircraft movements
- \$3B+ capital investment plan
- <1 Mile from NS Inmodal Yard

ROADS & INTERSTATES

Accessible via: Interstates 40, 77, 85 and **US Hwys** 70, 64, 601

- Within a 1-day truck drive:
 - 107M in the US population
 - Charlotte, Atlanta, Charleston, Washington D.C., Nashville, Baltimore, Louisville, Indianapolis and Pittsburgh

RAIL

Two Major Commercial Railroads: Norfolk Southern & CSX Corporation

Passenger Rail to Many Major Cities: Amtrak

PORTS

Port of Wilmington: 245 miles

Port of Charleston: 250 miles

Port of Savannah: 290 miles

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